

SPECIAL PLANNING BOARD MEETING
Monday, September 30, 2013 - 7:00 P.M.
City Hall - 950 Locust St., Carter Lake, Iowa

Roll Call

Approval of the Agenda

1. New Business
 - a. Saries Lounge – 2449 N 13th St – Outdoor Patio.
 - b. Sgt. Peffer’s Italian Café – 111 Locust St – Landscaping and Exterior Seating.
 - c. George Stewart – request lot line adjustments
 - d. Fred Levell Jr. – conditional use permit for 1301 Locust St.

2. Comments

Adjourn

09/24/13

dm

FOR OFFICE USE: CASE# _____
Z.B.A. Public Hearing: _____
Signs Issued: _____/_____/by _____

Receipt # _____
Amount \$ _____
By _____ Date _____

APPLICATION FOR PLANNING BOARD AGENDA

- 1. APPLICANT: SARIES Lounge LLC Phone: 712-847-0179
Address: 2449 N. 13th STREET *Status: _____
- 2. REPRESENTED BY: JAMES MORAN Phone: 909-942-9113
Address: 1875 Tandem Way Norco CA
- 3. STREET ADDRESS/LOCATION: 2449 N. 13th STREET
CARTER LAKE IA 51510
- 4. LEGAL DISCRPTION: OUTDOOR PATIO
- 5. OWNERS NAME: SPEARMINT RHINO
- 6. OWNERS ADDRESS: 1875 Tandem Way Norco CA
- 7. REASONS FOR REQUEST AND INTENDED USES: OUTDOOR SEATING / smoking AREA
- 8. ZONING DISTRICT: C-A
- 9. PRESENT USE: _____
- 10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE.
- 11. ADMINISTRATIVE DECISION ISSUED: _____

FOR OFFICE USE

- 12. ATTACHED TO THE APPLICATION ARE:
 - a. Denied "Building Permit Application" form..... _____
 - b. Approves..... _____
 - c. Restrictions..... _____

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE:  Date: 8/12/13
TYPED OR PRINTED NAME: Rhett Amo *Status: _____

*NOTE: P.O. = Property Owner C.P. = Contract Purchaser
O.H. = Legal Optionholder A. = Owner's authorized agent



Commercial Building Permit Application

City of Carter Lake

950 Locust Street
Carter Lake, IA 51510

Office (712) 847-0535 Fax (712) 547-5454

Address of Project

Legal Description	Lot	Block	Subdivision	Zoned

Property Size: Platted Unplatted
 Structure: Yes No Length: _____ Square Ft: **29,502**
 Proposed Use: **Same** Current Use: **Bars + Lounges**

Property Owner: **WINGS FLYAWAY BAR & LODGE** Phone: **951 371-3788**
 Address: **2449 N. 13th St Carter Lake, IA**

General Contractor: _____ Phone: () _____
 Address: _____

Occupant / Tenant: **SALES LOUNGE LLC** Phone: **(712) 847-0179**
 Contact Name: **Rhett Aho / Cliff Carlson / DANIEL HELISKOS**

Type of Construction / Description of Work: _____

TOTAL Value of Finished Product \$ **20,000⁰⁰**

The property shall comply with all applicable City of Carter Lake zoning ordinances. All covenants and easements are the responsibility of the builder or property owner.

All property owners, HOA and others having interest in this project been contacted. Yes No

I hereby state that the information submitted on this application is accurate and correct. I recognize that the issuance of this building permit shall not grant approval to violate any of the provisions of the building codes or zoning ordinances enforced by this jurisdiction, state or federal law, and that this permit shall not prevent the building official from requiring construction to be in compliance with all applicable code provisions during field inspections. This building permit is issued for the express purpose of work stated on this application and shown on the approved plans. Any changes to the contractor plans that affect area or scope of work shall be approved by the building official's prior to construction and may require another permit application. No building shall be occupied until a certificate of occupancy has been issued by the Building Official.

Applicant Name: **James Moran** (Print Clearly) | *[Signature]* Date: **6-17-13**

Please Note that this application must be approved by the following:

Planning Board	Date
Fire Department	Date
Building Official	Date

- Documents Needed for Construction
- Three sets of Engineered plans and specifications on 11" x 17" sheets
 - A certified certificate of survey of the property
 - A plot plan drawn to scale showing building location on the lot
 - A copy of SWPPP (Storm Water Pollution Prevention Plan)

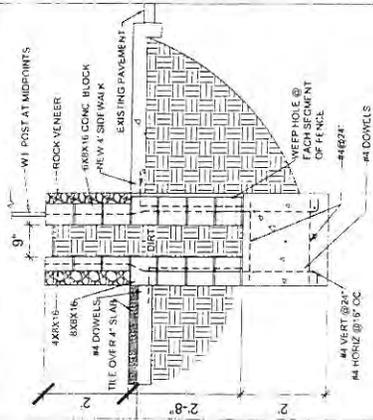
Impervious Coverage

Total sq ft of Property: _____

Total sq ft of All Structures: _____

Total sq ft of Impervious Paving: _____

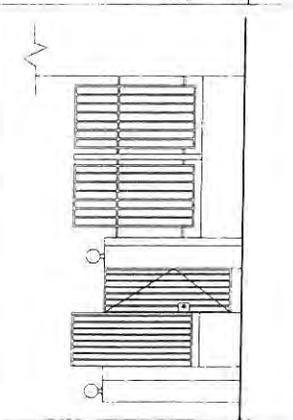
Impervious Coverage Percentage: _____



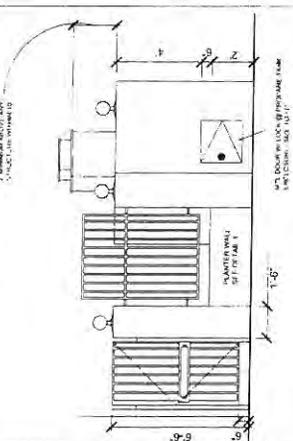
1 FOUNDATION - SECTION
SCALE: 3/4" = 1'-0"

1. Contractor to verify wind and frost line resisting systems.
2. Construction shall conform with local current building code.
3. Footings to be deep enough to satisfy local frost line requirements.
4. Stone veneer to match existing rock finish on walls of existing building.
5. Provide approved panic hardware on gates. Verify with owner on level of security needed.
6. Owner to select type of pavers to be used.
7. Rework existing planter as required to accommodate new sidewalk. Includes relocating existing boulder(s) and existing sprinkler system.
8. Fireplace construction to be by experienced contractor. Top of chimney to be minimum 24" above any roof closer than 10' from chimney. Provide propane log lighter @ firebox from recessed supply point.
9. Gates to have panic hardware.
10. Electrical service to lights to be connected to closest existing circuit within building. Lights to be selected by owner and to be exterior type.

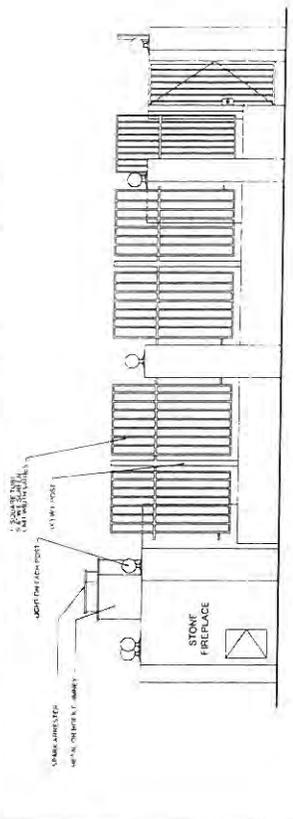
4 GENERAL NOTES



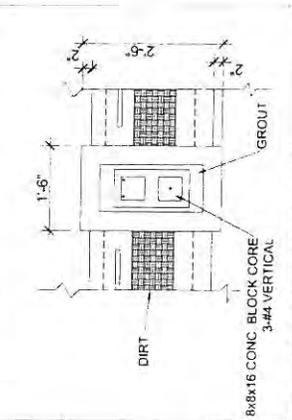
2 RIGHT ELEVATION SCALE: 3/8" = 1'-0"



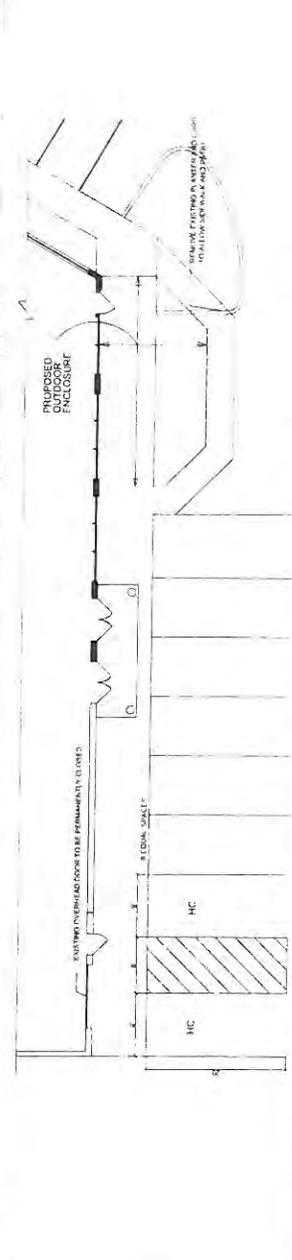
5 LEFT ELEVATION SCALE: 3/8" = 1'-0"



8 FRONT ELEVATION SCALE: 3/8" = 1'-0"



3 STONE PILLAR - PLAN
SCALE: 1" = 1'-0"



7 FLOOR PLAN SCALE: 3/8" = 1'-0"

6 PARTIAL SITE PLAN/ SHOWING PATIO LOCATION AND RELOCATED PARKING
SCALE: 1/8" = 1'-0"

PROPERTY DESCRIPTION

* Please note I included these for reference of the property

Tax / Tax / Search /

Parcel Number 754421327002			
		Deed Holder	
Name	WINGS FLYWAY BAR-GRILL LLC		
Mailing Address	1875 TANDEM WAY NORCO, CA 92860		
Parcel Information			
Location	2449 N 13TH ST	District	005 - CARTER LAKE CITY/CB SCH
Sec / Twp / Range	--	Property Class	C - COMMERCIAL PROPERTY
Legal Description	CARTER LAKE-WINGATE PLAZA LT 6	Deed Book	2011
Acreage	0.000	Deed Page	16552
		Deed Date	12/19/2011

Valuation and Tax Information				
	2011 (This Year)		2010 (Last Year)	
	Assessed	Taxable	Assessed	Taxable
Land Value	\$92,000.00	\$92,000.00	\$92,000.00	\$92,000.00
Building Value	\$1,543,013.00	\$1,543,013.00	\$1,543,013.00	\$1,543,013.00
Net Value	\$1,635,013.00	\$1,635,013.00	\$1,635,013.00	\$1,635,013.00
Levy Rate		39.64264000000000		40.89888000000000
Gross Tax		\$64,816.23		\$66,870.20
Net Annual Taxes		\$64,816.00		\$66,870.00

Pay Taxes Online

Assessor

GIS

Recorder

Tax History						
Tax Year	Type	First Half	Second Half	First Interest	Second Interest	Total
2015	Special Tax	\$203.00	\$0.00	\$0.00	\$0.00	\$203.00
2014	Special Tax	\$203.00	\$0.00	\$0.00	\$0.00	\$203.00
2013	Special Administration	\$5.00	\$0.00	\$0.00	\$0.00	\$5.00
2013	Special Tax	\$203.00	\$0.00	\$55.00	\$0.00	\$258.00
2012	Special Administration	\$5.00	\$0.00	\$0.00	\$0.00	\$5.00
	Payment 9/14/2012	\$5.00	\$0.00	\$0.00	\$0.00	\$5.00
Total Due		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2012	Special Tax	\$203.00	\$0.00	\$73.00	\$0.00	\$276.00
	Payment 9/14/2012	\$203.00	\$0.00	\$73.00	\$0.00	\$276.00

EXHIBIT "A"

Lot 6, Wingate Plaza, an Official Plat, now included and in forming a part of the City of Carter Lake, Pottawattamie County, Iowa.

Find Property Res Sales Comm/Ind Sales

7544 21 327 002

--- Permanent Property Address ---

----- Mailing Address -----

WINGS FLYWAY BAR-GRILL LLC

WINGS FLYWAY BAR-GRILL LLC

2449 N 13TH ST

1875 TANDEM WAY

CARTER LAKE, IA

NORCO, CA 92860

District: 005

===== REAL ESTATE TAX =====

Click [here](#) for treasurer real estate tax information.

===== LEGAL DESCRIPTION =====

CARTER LAKE-WINGATE PLAZA LT 6

===== ASSESSED VALUE =====

land: \$92000 dwelling: \$0 building: \$1543013 total: \$1635013 year/class: 2011/C

land: \$92000 dwelling: \$0 building: \$1543013 total: \$1635013 year/class: 2012/C

land: \$92000 dwelling: \$0 building: \$1432700 total: \$1524700 year/class: 2013/C

===== OWNERS =====

1 D WINGS FLYWAY BAR-GRILL LLC book/page: 2011/16552 D

===== EXEMPTIONS & CREDITS =====

===== ASSESSMENT DATA =====

PDF: 9 MAP: CARTER LAKE COMM-9

Sale Date	Amount	Code	Book/Page
11/21/2011	0	D7	2011/16552
09/27/2007	0	D001	2007/15807
10/20/2000	80000	F034	101/19526

Interior Listing: Inspected Date Listed: 12/27/2012 JC Date Reviewed: 12/27/2012 JC

LAND.....29502 sqFt .68 acres

Commercial Building 1 of 1 -- Bars and Lounges (303)

DBA: SPEARMINT RHINO

STRUCTURE....1 story 12925 base SF 0 bsmt SF 12925 gross SF

Year Built: 2000 Eff Year: 2000 Condition: Very Good

VERTICALS...Foundation: Concrete

Ext Wall: Stucco - Frm
Decorative Block - Rock Face

Int Wall: Drywall or Equiv.

Windows: Aluminum Casement

HORIZONTALS..Roof: Asph. Shingle/ Wood Dk

Ceiling: Suspended Blk-M'Ral

Struc Floor: R'Concrete

Floor Cover: Carpet

Terrazzo

Framing: Wood - Average

HVAC: Combination FHA - AC

Lighting: Bars/Lounges

PLUMBING....Water Closet (8)

Urinal - Wall (3)

Toilet Room (5)

Sink-Kitchen (3)

Lavatory (8)

Sink-Kitchen (2)

Stainless Stl Triple Sinks - 6' (1)

BLDG EXTRAS..1 Door: O.H. Door - Manual, 8 Ft Wide, 10 Ft High

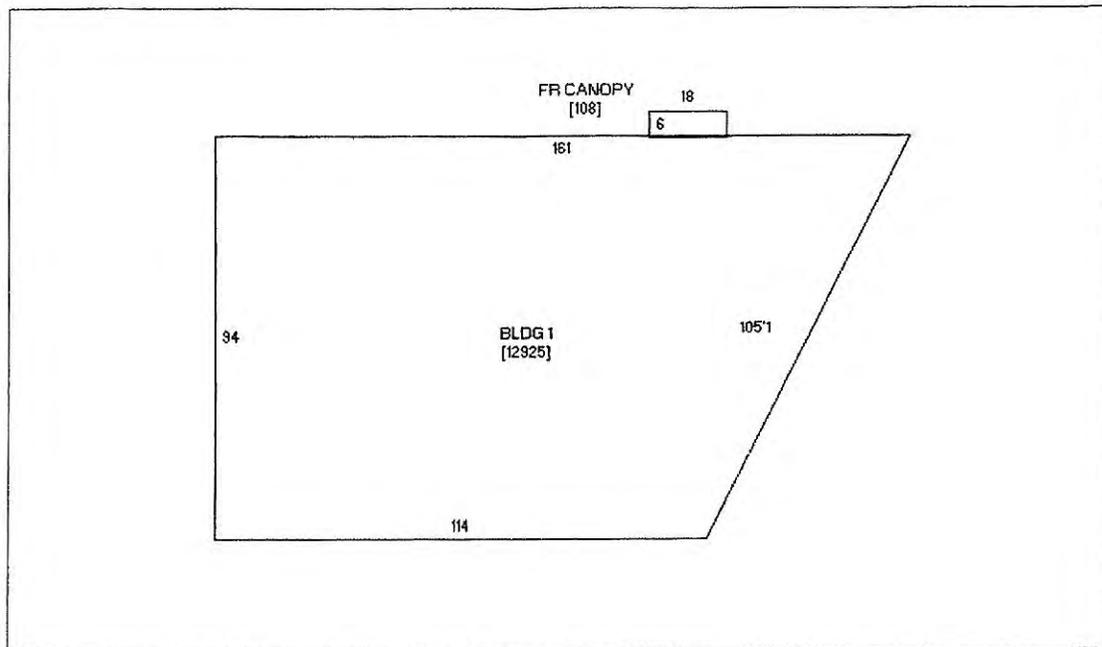
1 Canopy: 108 SF, Frame, Average Pricing

1 Cold Storage: 60 SF, Cooler, 0 SFSA Door, No Door

1 Cold Storage: 72 SF, Cooler, 0 SFSA Door, No Door

1 Cold Storage: 60 SF, Freezer, 0 SFSA Door, No Door

YARD EXTRAS..Paving 21,520 SF, Asphalt w/Curbs, Average Pricing, Lighting: No



2449 N 13TH ST, WINGS FLYWAY BAR-GRILL LLC, 9-1 11/24/2010



2449 N 13TH ST, WINGS FLYWAY BAR-GRILL LLC, 1 12/27/2012



2449 N 13TH ST, WINGS FLYWAY BAR-GRILL LLC, 4 09/04/2009



Zoom Out Zoom In



600ft x 600ft

Click any parcel to go to its web page
See [more maps](#) at the [County GIS Department](#).

As of: On Web Get Card

[Find Property](#) [Res Sales](#) [Com DOVs](#)

FOR OFFICE USE: CASE# _____
Z.B.A. Public Hearing: _____
Signs Issued: _____/_____/by _____

Receipt # _____
Amount \$ _____
By _____ Date _____

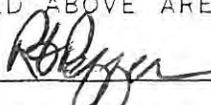
APPLICATION FOR PLANNING BOARD AGENDA

- 1. APPLICANT: Sgt. Pepper's Italian Cafe Phone: ⁴⁰² 553 7174
Address: 111 E. LOCUST ST. *Status: _____
- 2. REPRESENTED BY: R. Tim Pepper Phone: 630 2938
Address: 4845 Seward St. Omaha, NE 68104
- 3. STREET ADDRESS/LOCATION: _____
111 E. LOCUST ST.
- 4. LEGAL DISCRPTION: _____
- 5. OWNERS NAME: Jay Gunderson
- 6. OWNERS ADDRESS: 111 Carolina Drive
- 7. REASONS FOR REQUEST AND INTENDED USES: _____
Aesthetic purposes, sidewalk, exterior seating.
- 8. ZONING DISTRICT: _____
- 9. PRESENT USE: vacant retail food service
- 10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE.
- 11. ADMINISTRATIVE DECISION ISSUED: _____

FOR OFFICE USE

- 12. ATTACHED TO THE APPLICATION ARE:
 - a. Denied "Building Permit Application" form..... _____
 - b. Approves..... _____
 - c. Restrictions..... _____

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE:  Date: 9/6/13
TYPED OR PRINTED NAME: R. Tim Pepper *Status: _____

*NOTE: P.O. = Property Owner C.P. = Contract Purchaser
O.H. = Legal Optionholder A. = Owner's authorized agent



KEY:

_____ new sidewalk

..... fence

○ planter.

☼ trees.

N

W E

Scale: $\frac{1}{4}'' = 3'$
Sept. 6, 2013

Sgt. Petter's Italian Cafe

111 S. LOCUST ST. CARTER LAKE

FOR OFFICE USE: CASE# _____
Z.B.A. Public Hearing: _____
Signs Issued: _____/_____/by _____

Receipt # _____
Amount \$ _____
By _____ Date _____

APPLICATION FOR PLANNING BOARD AGENDA

1. APPLICANT: Fred Levell Jr Phone: 402.345-1692
Address: 1301 LOCUST ST *Status: P.O.
2. REPRESENTED BY: Fred Levell Sr Phone: 402.708.7008
Address: 1600 Ave K
3. STREET ADDRESS/LOCATION: 1301 LOCUST ST
Carter Lake IA
4. LEGAL DISCRPTION: CARTER LAKE AUD - SUB LT 13 21-75-44
+ ACCRE LOTS 1 + N + W 15' LT 14 ADJ
5. OWNERS NAME: Fred Levell Jr
6. OWNERS ADDRESS: M-F Real Estate Inc
2203 N 14 Plz Omaha NE 68110
7. REASONS FOR REQUEST AND INTENDED USES: Selling used auto parts
over the internet
8. ZONING DISTRICT: C/L
9. PRESENT USE: _____
10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE. _____
11. ADMINISTRATIVE DECISION ISSUED: _____

FOR OFFICE USE

12. ATTACHED TO THE APPLICATION ARE:
- a. Denied "Building Permit Application" form..... _____
 - b. Approves..... _____
 - c. Restrictions..... _____

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE: Fred Levell Date: 9-24-13
TYPED OR PRINTED NAME: _____ *Status: _____

*NOTE: P.O. = Property Owner C.P. = Contract Purchaser
O.H. = Legal Optionholder A. = Owner's authorized agent

Zoning District Regulations

Use Matrix: Civic Use Types

Use Types	R-1	R-2	R-3	R/CC	RM	C/L	C-1	C-2	TC	C/A	BP	M-1	M-2	Addl Reg
Civic Uses														
Administration						P	P	P	P	P	P	P	P	
Clubs (Recreational)*	C	C	C	C	C	P	P	P	C	P	C	P	P	
Clubs (Social)*	C	C	C	C	C	P	P	P	P	P	P	P	P	
College/Univ*						P	P	P	P	P	P	P		
Convalescent Services		C	P		C	P	P	P	C					
Cultural Services	C	C	P	C	C	P	P	P	P	P	P	P		
Day Care (Limited)	P	P	P	P	P	P	P	P	P	C	C	C	C	
Day Care (General) *	C	C	P	C	C	P	P	P	P	P	P	C	C	
Elder Home	C	C	P	C	C	P								
Emergency Residential	C	C	P	C	C	P	P	P	P					
Family Home	C	C	P	C	C	P	P							
Group Care Facility*			P			P	P	P	P	P				
Group Home		C	P			P	P	P	P	P				
Guidance Services						P	P	P	P	P	P	C	C	
Health Care						P	P	P	P	P	P	C	C	
Hospitals*			C			C	C	C	P	P	P	C	C	
Maintenance Facility*						C		C		C		P	P	
Park and Recreation	P	P	P	P	P	P	P	P	P	P	P	P	P	
Postal Facilities						C	P	P	P	P	P	P	P	
Primary Education*	P	P	P		P	P	P	P	P	C				
Public Assembly*						C	C	C	P	P	C			
Religious Assembly*	P	P	P		P	P	P	P	P	P		C		
Safety Services	P	P	P	P	P	P	P	P	P	P	P	P	P	
Secondary Educ*	C	C	P		C	P	C	C	C	C				
Utilities*	C	C	C	C	C	C	C	C	C	P		P	P	

P Permitted by right or by right subject to supplemental regulations

C Permitted by Conditional Use Permit

***** Use Permitted after Site Plan Approval

Blank Use not permitted in zoning district, unless established as a lawful nonconforming use

Zoning District Regulations

Use Matrix: Commercial (continued) and Parking Use Types

Use Types	R-1	R-2	R-3	R/CC	RM	C/L	C-1	C-2	TC	C/A	BP	M-1	M-2	Addl Reg
Commercial Uses														
Food Sales (General)						P	P	P	C	P	P	P	P	
Food Sales (Super markets)*						C	C	C	C	C	C	P	P	
Funeral Service			C			P	P	P		P		P	P	
Kennels*												P	P	
Laundry Services												P	P	
Liquor Sales						C	C	C	C	C	C	C	C	
Lodging*						P	P	P	P	P	P	C	C	
Personal Improvement						P	P	P	P	P	P	P	P	
Personal Services						P	P	P	P	P	P	P	P	
Pet Services						P	P	P	P	P	P	P	P	
Research Services						P	P	P	P	P	P	P	P	
Restaurants (Drive-in)*						C	C	P		P	C	C	C	
Restaurants (General)*						P	P	P	P	P	P	C	C	
Restricted Business														
Retail Services (Limited)						P	P	P	P	P	C			
Retail Services (Large)*						C	C	C	C	C	C	P	P	
Retail Services (Mass)*						C	C	C		C		P	P	
Stables*														
Surplus Sales*												C	C	
Trade Services						C	C	C				P	P	
Veh. Storage (Short-term)*												C	C	
Veterinary Services						C	C	C	C	C	C	C	C	
Parking Uses														
Off-Street Parking*						C	C	C	C	C	C	P	P	
Parking Structure*						C	C	C	C	C	C	P	P	

P Permitted by right or by right subject to supplemental regulations

C Permitted by Conditional Use Permit

* Use Permitted after Site Plan Approval

Blank Use not permitted in zoning district, unless established as a lawful nonconforming use

Zoning District Regulations

Use Matrix: Office and Commercial Use Types

Use Types	R-1	R-2	R-3	R/CC	RM	C/L	C-1	C-2	TC	C/A	BP	M-1	M-2	Addl Reg
Office Uses														
Corporate Offices*			C			P	P	P	P	P	P	P	P	
General Offices			C			P	P	P	P	P	P	P	P	
Financial Offices*			C			P	P	P	P	P	P	P	P	
Medical Offices*			C			P	P	P	P	P	P	P	C	
Commercial Uses														
Ag Sales/Service*								C				P	P	
Auto Services*						C	C	C				P	P	
Body Repair*								C				P	P	
Equipment Repair*								C				P	P	
Bed and Breakfast						P	P	P	P	P				**
Business Support Services						P	P	P	P	P	P	P	P	
Business/Trade School						C	C	P	P	P	P	P	P	
Campground*														**
Cocktail Lounge						C	C	C	C	C	C	C	C	
Commercial Rec* (Indoor)						C	C	P	P	P	P	P	P	
Commercial Rec* (Outdoor)										P		P	P	
Communication Service						P	P	P	P	P	P	P	P	
Construction Sale/Service*							C	C				P	P	
Consumer Service						P	P	P	P	P	P	P		
Convenience Storage*												P	P	
Food Sales (Convenience)*						C	C	C		C	C	P	P	
Food Sales (Limited)						P	P	P	P	P	P	P	P	

P Permitted by right or by right subject to supplemental regulations

C Permitted by Conditional Use Permit

* Use Permitted after Site Plan Approval

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** Missouri River corridor