

SPECIAL PLANNING BOARD MEETING
Monday, October 28, 2013 - 7:00 P.M.
City Hall - 950 Locust St., Carter Lake, Iowa

Roll Call

1. Gary Fett – City Motors – review and approve plans for new building.

Comments

Adjourn

10/25/13

dm

Barry Palmer 712-847-0535
Cell 402 679-7723

FOR OFFICE USE: CASE# _____
Z.B.A. Public Hearing: _____
Signs Issued: _____/_____/by _____
Receipt # _____
Amount \$ _____
By _____ Date _____

APPLICATION FOR PLANNING BOARD AGENDA

- 1. APPLICANT: Gary Fett Phone: _____
Address: 1103 E locust street *Status: _____
- 2. REPRESENTED BY: James E Owens Phone: _____
Address: 1113 4th Ave
- 3. STREET ADDRESS/LOCATION: 1103 East locust Street
- 4. LEGAL DISCRPTION: Carter Lake - AUD SUB
21-75-44 LT.13 LTS D&E, J&K.
- 5. OWNERS NAME: Gary Fett
- 6. OWNERS ADDRESS: 1103 E locust Street
- 7. REASONS FOR REQUEST AND INTENDED USES: _____
Replace Previous Structure
- 8. ZONING DISTRICT: _____
- 9. PRESENT USE: _____
- 10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE.
- 11. ADMINISTRATIVE DECISION ISSUED: _____

FOR OFFICE USE

- 12. ATTACHED TO THE APPLICATION ARE:
 - a. Denied "Building Permit Application" form..... _____
 - b. Approves..... _____
 - c. Restrictions..... _____

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE: Gary Fett Date: 10-24-13
TYPED OR PRINTED NAME: GARY E. FETT *Status: _____

*NOTE: P.O. = Property Owner C.P. = Contract Purchaser
O.H. = Legal Optionholder A. = Owner's authorized agent

Commercial Building Permit Application



City of Carter Lake

950 Locust Street
Carter Lake, IA 51510

Office (712) 847-0535 Fax (712) 347-5454

Address of Project:

Legal Description:	Lot	Block	Subdivision	Zoned

Property: Platted Unplatted
 Size: Width _____ Length _____ Square Ft. _____
 Structure: Yes No Current Use: _____
 Proposed Use: _____

Property Owner: Gary Felt Phone: (402) 707 3388

Address: 1103 East Locust St.
(City, State, Zip)

General Contractor: James E Owens Phone: (712) 310-2710

Address: 1113 9th Ave CB Ia. 51501
(City, State, Zip)

Occupant / Tenant: _____ Phone: ()

Contact Name: _____

Type of Construction / Description of Work: New

TOTAL: Value of Finished Product \$ _____ *Required Field*

The property shall comply with all applicable City of Carter Lake zoning ordinances. All covenants and easements are the responsibility of the builder or property owner.

All property owners, HOA and others having interest in this project been contacted: Yes No

I hereby state that the information submitted on this application is accurate and correct. I recognize that the issuance of this building permit shall not grant approval to violate any of the provisions of the building codes or zoning ordinances enforced by this jurisdiction, state or federal law; and that this permit shall not prevent the building official from requiring construction to be in compliance with all applicable code provisions during field inspections. This building permit is issued for the express purpose of work stated on this application and shown on the approved plans. Any changes to the construction plans that effect area or scope of work shall be approved by the building official's prior to construction and may require another permit application. No building shall be occupied until a certificate of occupancy has been issued by the Building Official.

Applicant Name: James E Owens | James E Owens Date: 10-24-13
(Print Clearly) (Signature)

Please Note that this application must be approved by the following:

Planning Board: _____ Date: _____
 Fire Department: _____ Date: _____
 Building Official: _____ Date: _____

Documents Needed for Construction:	Impervious Coverage:
1. Three sets of Engineered plans and specifications. (1/4" Scale)	Total (sq ft) of Property: _____
2. A certified certificate of survey of the property.	Total (sq ft) of All Structures: _____
3. A plot plan drawn to scale showing building location on the lot.	Total (sq ft) of Impervious Paving: _____
4. A Copy of SWPPP (Storm Water Pollution Prevention Plan)	Impervious Coverage Percentage: _____

BUILDING SPECIFICATIONS AND GENERAL NOTES

OWNERS INFORMATION:
 NAME: GARY FETT
 ADDRESS: 1103 E LOCUST ST
 CITY: CARTER LAKE
 STATE: IA
 ZIP: 51501

BUILDING REQUIREMENTS:
 - USE OF BUILDING: OFFICE / STORAGE
 - OCCUPANCY: S-1/ZR
 - CONSTRUCTION TYPE: SB
 - DESIGN CODE: 2009 IBC
 - OCCUPANCY CATEGORY: 2

BUILDING DESIGN LOADS:

SNOW	WIND	SEISMIC	TRUSS DEAD LOADS
(Pg) = 25.0 PSF (Ce) = 0.92 (Is) = 1.00 (Cl) = 1.20 (Pf) = 18.90 PSF (Ce) = 0.94 (Pa) = 17.72 PSF (Lr) = 20.00 PSF	B.W.S. = 90 MPH (W) = 1.00 EXPOSURE = B	- SEISMIC USE: 1.00 - SPECTRA RESPONSE COEFFICIENT SDS: 0.112 - SPECTRA RESPONSE COEFFICIENT SD1: 0.098 - SITE CLASSIFICATION: D - SEISMIC DESIGN CATEGORY: B	DLTC = 4 PSF DLBC = 5 PSF
*WITH UNBALANCED LOADS AS REQUIRED			

PLEASE NOTE:

- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

SOIL:

- SOIL CLASSIFICATION #4 (FIRM) BASED ON ASABE EP486.1 (CLASS OF MATERIAL: SW, SP, SM, SC, GM, AND GC).
- A SOIL BEARING VALUE ASSUMED AT 2000 PSF. ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 32.

CONCRETE:

- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-08. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS
- ALL REBAR SHALL MEET A615 GRADE 40 OR BETTER.

LUMBER:

- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.
- ALL LUMBER IN CONTACT WITH CONCRETE ABOVE GRADE SHALL BE TREATED IN ACCORDANCE TO AWPA U1-10 UC3B OR BETTER REQUIREMENTS.
- ALL LUMBER BELOW GRADE SHALL BE TREATED IN ACCORDANCE TO AWPA U1-10 UC4B OR BETTER REQUIREMENTS.

COLUMNS:

- ALL LAMINATED COLUMNS SHALL BE MIDWEST MANUFACTURING'S, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.

TRUSSES:

- DESIGNED IN ACCORDANCE TO 2009 IBC
 TPI APPROVED
 THIRD PARTY INSPECTED
- LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.

STEEL PANEL:

- PREMIUM PRO-RIB STEEL PANEL
 .0157" MINIMUM THICKNESS BEFORE PAINTING
 .018" NOMINAL THICKNESS AFTER PAINTING
 G100 GALVANIZED COATING PLUS ZINC PHOSPHATE
 LIFETIME PAINT WARRANTY
 STRUCTURAL STRENGTH ASTM-A653 GRADE 80 (FULL HARD STEEL)
 82000 PSI MINIMUM TENSILE STRENGTH

SOFFIT PANELS:

- COLOR MATCHED VENTED STEEL SOFFIT PANELS
 CERAM-A-STAR 1050 PAINT SYSTEM

FRAMING FASTENERS:

- GALVANIZED THREADED HARDENED STEEL RINGSHANK NAILS.

PANEL FASTENERS:

- COLOR MATCHED CALVANIZED WOODGRIP SCREWS, #9 DIAMETER, 1/4" HEX HEAD.

GRADE:

- ALL GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 2% GRADE FOR PROPER DRAINAGE.

CONSTRUCTION BRACING:

- TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS' RESPONSIBILITY. REFER TO BCSP-B1 AND/OR B10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).

HVAC:

- HEATING, VENTING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE APPROVED BY LOCAL OFFICIALS.

PLUMBING:

- PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.

ELECTRICAL:

- ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.

EXIT LIGHTS:

- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE ICC ELECTRICAL CODE.

ACCESSIBLE PARKING:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5.

ACCESSIBLE ROUTE:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4.

ACCESSIBLE DOOR HARDWARE

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPENED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR.

FIRE EXTINGUISHERS:

- SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).

SHEET INDEX

SHEET #	SHEET DESCRIPTION
S1	GENERAL NOTES
S2	ELEVATIONS
S3	FLOOR PLAN
S4	COLUMN LAYOUT PLAN, COLUMN & FOOTING SCHEDULE
S5	ROOF FRAMING PLAN
S6	FLOOR JOIST LAYOUT PLAN
S7	SIDEWALL SECTION & SECTION DETAILS
S8	SIDEWALL SECTION & SECTION DETAILS
S9	ENDWALL SECTION & SECTION DETAILS
S10	STEEL APPLICATION DETAILS

BUILDING INFORMATION:

NAME: FETTS CITY
 ADDRESS: 1103 E LOCUST ST
 CITY: CARTER LAKE
 STATE: IA
 ZIP CODE: 51501
 COUNTY: POTTAWATTAMIE

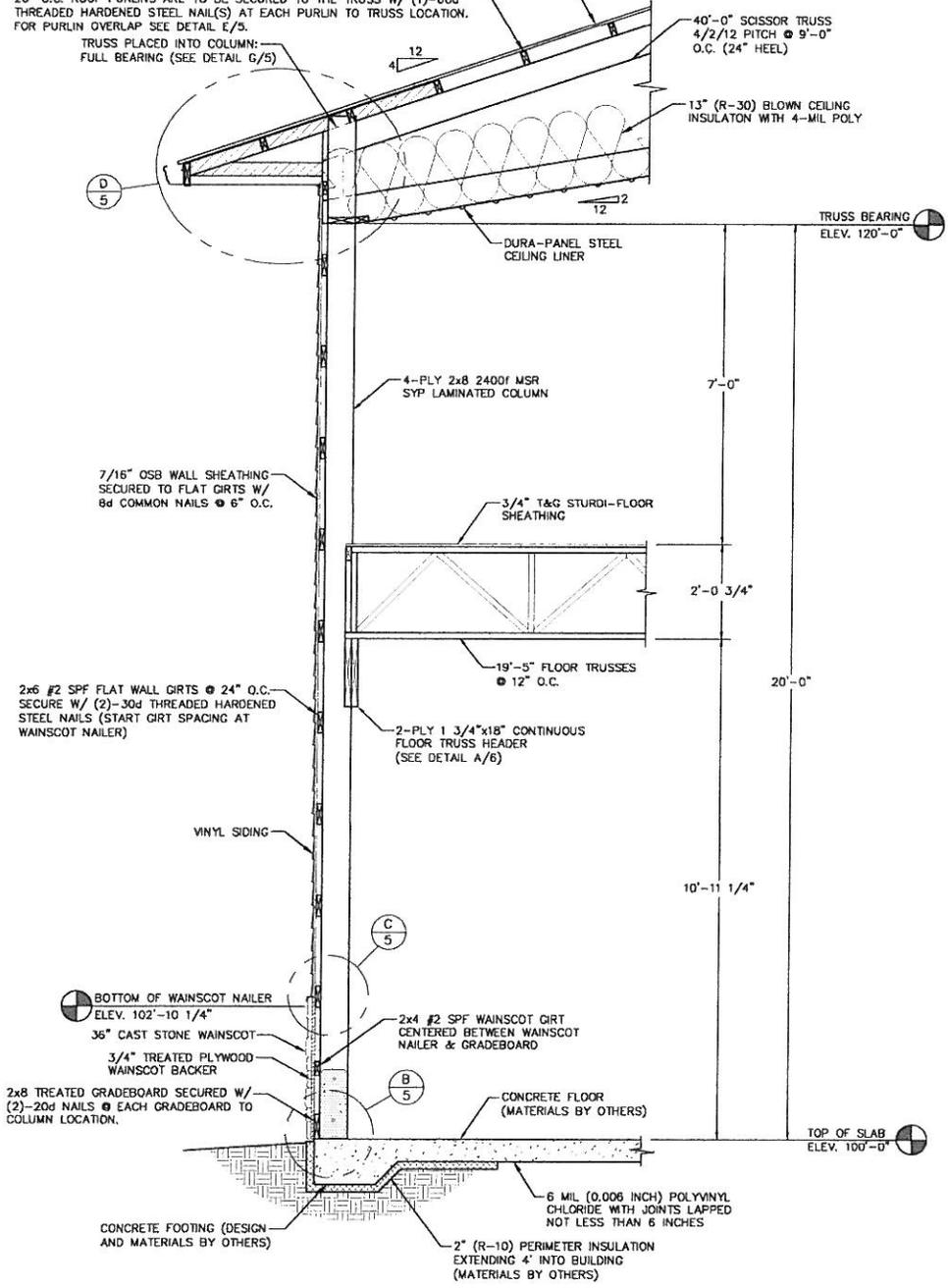
NOTE: PURLINS TO BE 13" O.C. IN FIRST 10.72' FROM PEAK

PREMIUM PRO-RIB STEEL PANEL SECURED TO ALL INTERMEDIATE PURLINS W/ 2" WOODGRIP SCREWS ON TOP OF EACH MAJOR RIB.

ROOF PURLINS SHALL BE 2x4 #2 SPF. THE FIRST (10) ROWS OF PURLINS AFTER THE PEAK PURLIN SHALL BE AT 13" O.C. WITH THE BALANCE AT 20" O.C. ROOF PURLINS ARE TO BE SECURED TO THE TRUSS W/ (1)-60d THREADED HARDENED STEEL NAIL(S) AT EACH PURLIN TO TRUSS LOCATION. FOR PURLIN OVERLAP SEE DETAIL E/5.

TRUSS PLACED INTO COLUMN: FULL BEARING (SEE DETAIL G/5)

NOTE: OWNER SHALL PROVIDE THICKNESS MARKERS WHICH ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET THROUGHOUT THE ATTIC SPACE IF THE INSULATION IS BLOWN INTO PLACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES AND MARKED WITH THE MINIMUM INITIAL, INSTALLED THICKNESS AND MINIMUM SETTLED THICKNESS. EACH MARKER SHALL FACE THE ATTIC ACCESS PANEL.



B SIDEWALL SECTION
6 SCALE: 1/2"=1'-0"

NOTE: PURLINS TO BE 13" O.C. IN FIRST 10.72' FROM PEAK

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TRUSS PLACED INTO COLUMN: FULL BEARING (SEE DETAIL G/5)

40'-0" SCISSOR TRUSS
4/2/12 PITCH @ 9'-0" O.C. (24" HEEL)

13" (R-30) BLOWN CEILING INSULATION WITH 4-MIL POLY

D 5

TRUSS BEARING
ELEV. 120'-0"

DURA-PANEL STEEL CEILING LINER

7/16" OSB WALL SHEATHING SECURED TO FLAT GIRTS W/ 8d COMMON NAILS @ 6" O.C.

4-PLY 2x8 2400f MSR SYP LAMINATED COLUMN

2x6 #2 SPF FLAT WALL GIRTS @ 24" O.C. SECURE W/ (2)-30d THREADED HARDENED STEEL NAILS (START GIRT SPACING AT WAINSCOT NAILER)

20'-0"

VINYL SIDING

C 5

BOTTOM OF WAINSCOT NAILER
ELEV. 102'-10 1/4"

36" CAST STONE WAINSCOT

2x4 #2 SPF WAINSCOT GIRT CENTERED BETWEEN WAINSCOT NAILER & GRADEBOARD

3/4" TREATED PLYWOOD WAINSCOT BACKER

2x8 TREATED GRADEBOARD SECURED W/ (2)-20d NAILS @ EACH GRADEBOARD TO COLUMN LOCATION.

CONCRETE FLOOR (MATERIALS BY OTHERS)

TOP OF SLAB
ELEV. 100'-0"

CONCRETE FOOTING (DESIGN AND MATERIALS BY OTHERS)

6 MIL (0.006 INCH) POLYVINYL CHLORIDE WITH JOINTS LAPPED NOT LESS THAN 6 INCHES

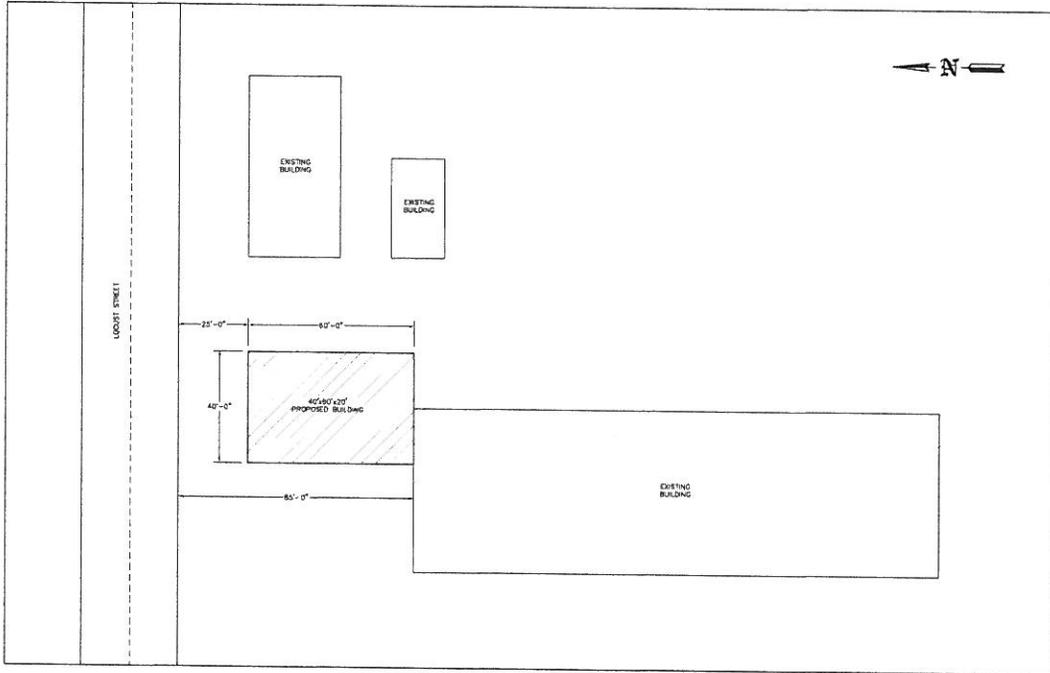
2" (R-10) PERIMETER INSULATION EXTENDING 4' INTO BUILDING (MATERIALS BY OTHERS)

A SIDEWALL SECTION
6 SCALE: 1/2"=1'-0"

BUILDING SPECIFICATIONS AND GENERAL NOTES

OWNER INFORMATION:		NAME: GARY JETT ADDRESS: 1102 E LOCUST ST CITY: CARTER LAKE STATE: IA ZIP: 52002									
BUILDING REQUIREMENTS:		- USE OF BUILDING: OFFICE/STORAGE - OCCUPANCY: S-1,2,3 - CONSTRUCTION TYPE: 2, 1,2,3 - DESIGN CODE: 2009 IBC - OCCUPANCY CATEGORY: B									
BUILDING DESIGN LOADS:		<table border="1"> <thead> <tr> <th>SNOW</th> <th>WIND</th> <th>SEISMIC</th> <th>TRAILER DEAD LOADS</th> </tr> </thead> <tbody> <tr> <td>(P) (C) (S) (T) (U) (V) (W)</td> <td>25.0 PSF 0.50 1.00 1.20 18.50 PSF 0.33 3.22 PSF 20.00 PSF</td> <td>RISK = 10 MPH V = 100 EXPOSURE = B - SEISMIC USE CATEGORY: I,2,3 - SPECTRA RESPONSE COEFFICIENT: 0.112 - SPECTRA RESPONSE COEFFICIENT: 0.098 - SITE CLASSIFICATION: B - SEISMIC DESIGN CATEGORY: B</td> <td>DL1C = 4.0 PSF DL2C = 3.75 PSF</td> </tr> </tbody> </table>		SNOW	WIND	SEISMIC	TRAILER DEAD LOADS	(P) (C) (S) (T) (U) (V) (W)	25.0 PSF 0.50 1.00 1.20 18.50 PSF 0.33 3.22 PSF 20.00 PSF	RISK = 10 MPH V = 100 EXPOSURE = B - SEISMIC USE CATEGORY: I,2,3 - SPECTRA RESPONSE COEFFICIENT: 0.112 - SPECTRA RESPONSE COEFFICIENT: 0.098 - SITE CLASSIFICATION: B - SEISMIC DESIGN CATEGORY: B	DL1C = 4.0 PSF DL2C = 3.75 PSF
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SOIL:											
<ul style="list-style-type: none"> - SOIL CLASSIFICATION (4) (FWS) BASED ON ASTM E498-1 (CLASS OF MATERIAL: SM, SP, SK, SC, GM, AND GC). - A SOIL BEARING VALUE ASSUMED AT 2000 PSF ALL FOOTINGS AND SLAB TO BEAR ON UNSTUMBED HETEROGENEOUS SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY. - ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 318. - OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY. - CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-08. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. - ALL REBAR SHALL MEET ASTM A603 OR BETTER. - ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION. - ALL LUMBER IN CONTACT WITH CONCRETE ABOVE GRADE SHALL BE TREATED IN ACCORDANCE TO ANPA U1-10 UCRB OR BETTER REQUIREMENTS. - ALL LUMBER BELOW GRADE SHALL BE TREATED IN ACCORDANCE TO ANPA U1-10 UCRB OR BETTER REQUIREMENTS. - ALL LAMINATED COLUMNS SHALL BE WOODS MANUFACTURER'S RIVET CLINCHED WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE. 											
TRUSSES:											
<ul style="list-style-type: none"> - DESIGNED IN ACCORDANCE TO 2009 IBC THIRD PARTY INSPECTED. - LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS. 											
STEEL PANEL:											
<ul style="list-style-type: none"> - PREMIUM PRO-RIB STEEL PANEL. - 0.037" MINIMUM THICKNESS BEFORE PAINTING. - 0.017" MINIMUM THICKNESS AFTER PAINTING. - DIPS GALVANIZED COATING PLUS ZINC PHOSPHATE LIFTING PAINT BARRIER. - STRUCTURAL STEELWORK ASTM-A588 GRADE 80 (FULL HARD STEEL). - 82000 PSI MINIMUM TENSILE STRENGTH. - COLOR MATCHED VENTED STEEL SOFFIT PANELS. - CERAM-A-STAR 1000 PAINT SYSTEM. 											
FRAMING FASTENERS:											
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<ul style="list-style-type: none"> - COLOR MATCHED GALVANIZED WOODRUP SCREWS, #8 DIAMETER, 1/4" HEX HEAD. 											
GRADE:											
<ul style="list-style-type: none"> - ALL GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 2% GRADE FOR PROPER DRAINAGE. 											
CONSTRUCTION BRACING:											
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HVAC:											
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PLUMBING:											
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ACCESSIBLE PARKING:											
<ul style="list-style-type: none"> - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5. 											
ACCESSIBLE ROUTE:											
<ul style="list-style-type: none"> - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4. 											
ACCESSIBLE DOOR HARDWARE:											
<ul style="list-style-type: none"> - SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309 HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGN. WHEN SLINGS DOORS ARE FULLY ACCESSIBLE DOOR PASSAGE SHALL BE MAINTAINED NO MORE THAN 48" (1220 MM) ABOVE FINISHED FLOOR. THE THRESHOLD OF DOOR PASSAGE SHALL NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR. 											
FIRE EXTINGUISHERS:											
<ul style="list-style-type: none"> - SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS). 											

FETTS CITY CARTER LAKE, IA



SITE PLAN
SCALE: 1"=20'

NOTE: OWNER/CONTRACTOR SHALL VERIFY ALL SETBACKS WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION.

NOTE: ALL GRADES SLOPE AWAY FROM THE BUILDING @ A MIN. 2% SLOPE.

SHEET INDEX	
SHEET #	SHEET DESCRIPTION
S1	GENERAL NOTES
S2	ELEVATIONS
S3	FLOOR PLAN
S4	COLUMN LAYOUT PLAN, COLUMN & FOOTING SCHEDULE
S5	ROOF FRAMING PLAN
S6	FLOOR JOIST LAYOUT PLAN
S7	SMALL SECTION & SECTION DETAILS
S8	FRONTAL SECTION & SECTION DETAILS
S9	FRONTAL SECTION & SECTION DETAILS
S10	STEEL APPLICATION DETAILS

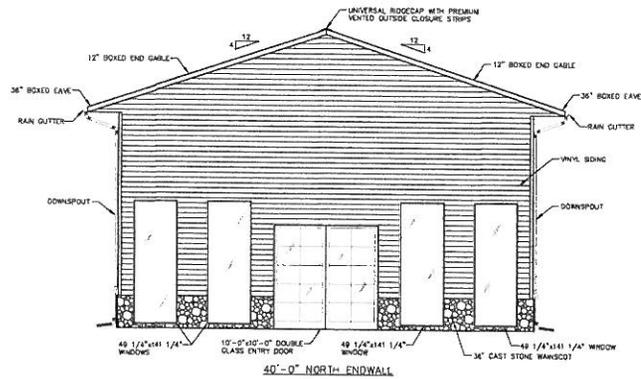
BUILDING INFORMATION:
NAME: FETTS CITY
ADDRESS: 1102 E LOCUST ST
CITY: CARTER LAKE
STATE: IA
ZIP CODE: 52002
COUNTY: POTTAWATTAMI



PROJECT TITLE: **FETTS CITY
CARTER LAKE, IA**

SHEET TITLE: **GENERAL NOTES & SITE PLAN**

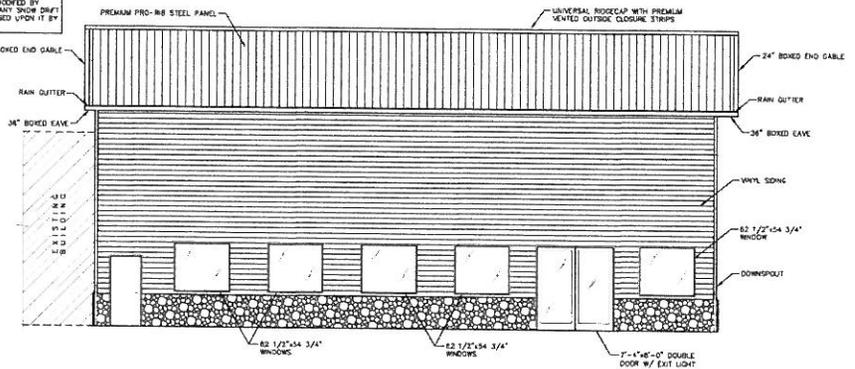
NO.	DATE	REVISIONS		PROFESSIONAL ENGINEER	FILE NAME	SHEET NO
		DESCRIPTION	BY			
1				JEFF MURRAY	C296131A01	S1
2				LOUISE EWALD	10-22-13	
3				DRAWN BY	SCALE:	
4				LANCE NIELSEN	AS NOTED	



40'-0" NORTH ENDWALL

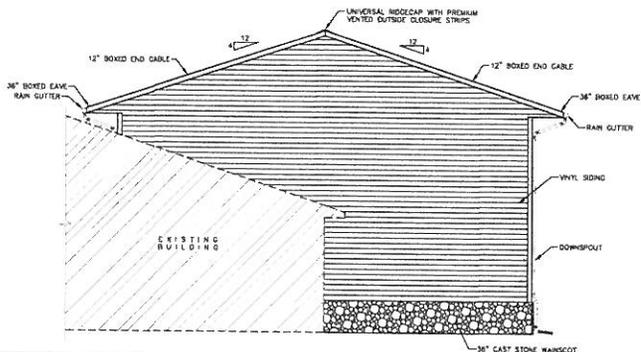
NOTE:
OWNER/CONTRACTOR TO VERIFY LOCATION OF PROPOSED SELF-SUPPORTED BUILDING IN RELATION TO EXISTING BUILDING PRIOR TO CONSTRUCTION.

NOTE:
EXISTING BUILDING TO BE MODIFIED BY OWNER TO ACCOMMODATE ANY SNOW DRIFT LOADS THAT MAY BE IMPOSED UPON IT BY THE PROPOSED BUILDING.



60'-0" EAST SIDEWALL

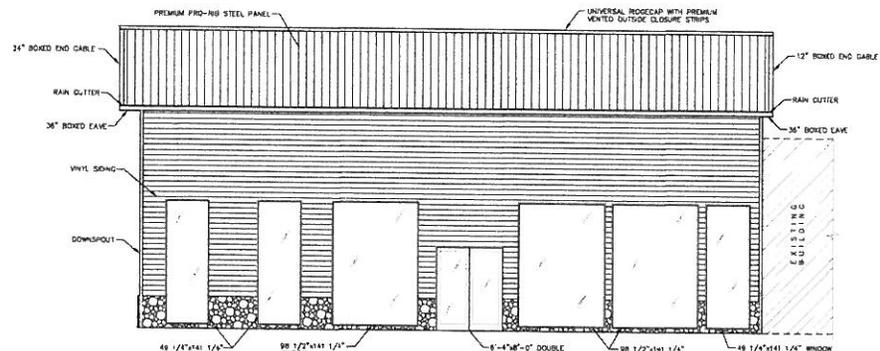
NOTE:
OWNER/CONTRACTOR SHALL VERIFY SERVICE DOOR QUANTITY & LOCATION(S) BY LOCAL BUILDING OFFICIALS PRIOR TO CONSTRUCTION.



40'-0" SOUTH ENDWALL

NOTE:
OWNER/CONTRACTOR TO VERIFY LOCATION OF PROPOSED SELF-SUPPORTED BUILDING IN RELATION TO EXISTING BUILDING PRIOR TO CONSTRUCTION.

NOTE:
EXISTING BUILDING TO BE MODIFIED BY OWNER TO ACCOMMODATE ANY SNOW DRIFT LOADS THAT MAY BE IMPOSED UPON IT BY THE PROPOSED BUILDING.



60'-0" WEST SIDEWALL

NOTE:
OWNER/CONTRACTOR TO VERIFY LOCATION OF PROPOSED SELF-SUPPORTED BUILDING IN RELATION TO EXISTING BUILDING PRIOR TO CONSTRUCTION.

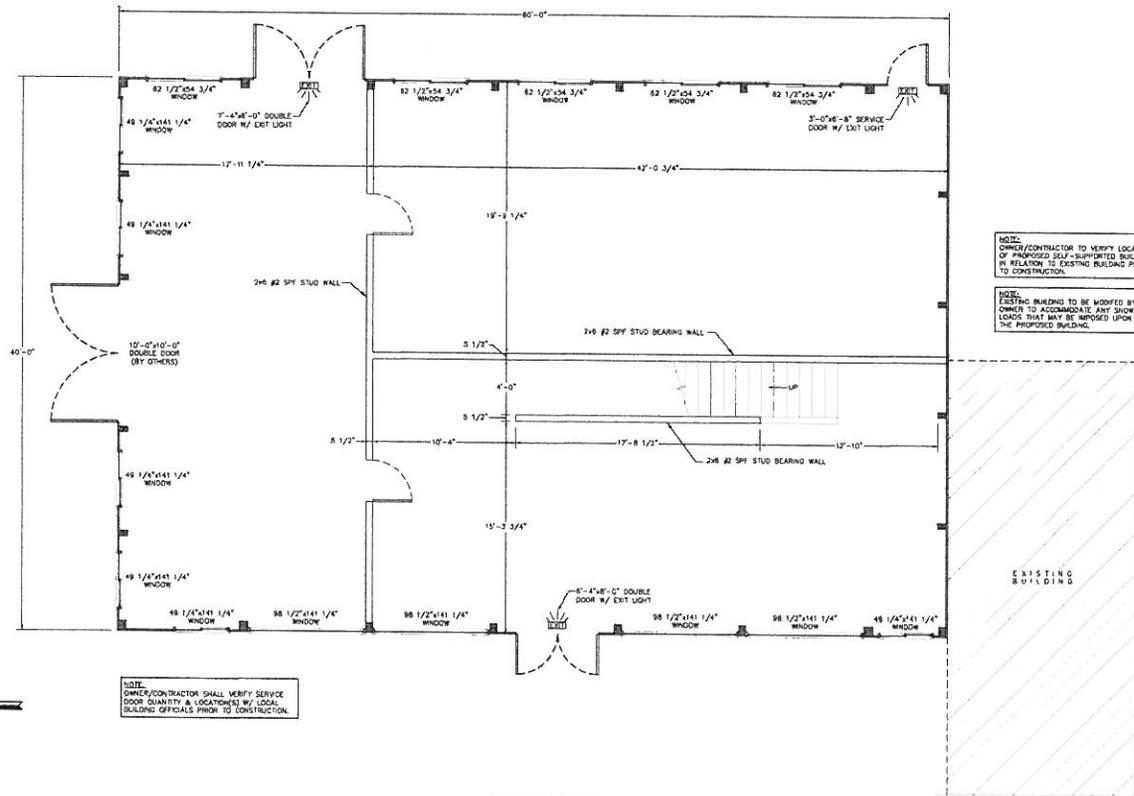
NOTE:
EXISTING BUILDING TO BE MODIFIED BY OWNER TO ACCOMMODATE ANY SNOW DRIFT LOADS THAT MAY BE IMPOSED UPON IT BY THE PROPOSED BUILDING.

ELEVATIONS
SCALE: 3/16"=1'-0"



PROJECT TITLE:		FETTS CITY CARTER LAKE, IA		PROFESSIONAL ENGINEER:	JEFF MURRAY	FILE NAME:	C296131A02	SHEET NO:	S2
SHEET TITLE:		ELEVATIONS		PLAN DESIGNER:	LOUISE EWALD	DATE:	10-22-13		
				DRAWN BY:	LANCE NIELSEN	SCALE:	AS NOTED		

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		



FLOOR PLAN
SCALE: 1/4"=1'-0"

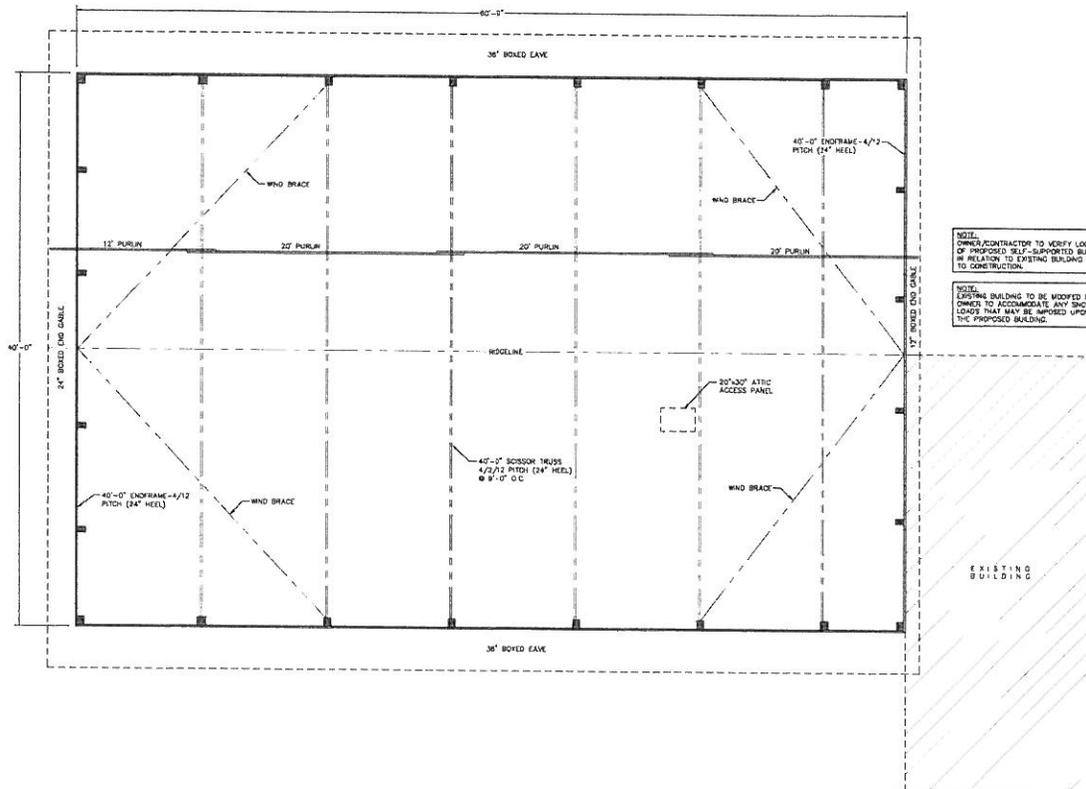


PROJECT TITLE:
FETTS CITY
CARTER LAKE, IA

SHEET TITLE:
FLOOR PLAN

REVISIONS			PROFESSIONAL ENGINEER	FILE NAME	SHEET NO.
NO.	DATE	DESCRIPTION	BY		
1			JEFF MURRAY	C296131A03	
2			LOUISE EWALD	DATE	
3			LOUISE EWALD	10-22-13	
4			LANCE NIELSEN	SCALE	
				AS NOTED	

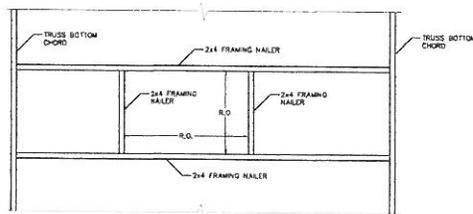
S3



NOTE:
OWNER/CONTRACTOR TO VERIFY LOCATION
OF PROPOSED SELF-SUPPORTED BUILDING
IN RELATION TO EXISTING BUILDING PRIOR
TO CONSTRUCTION.

NOTE:
EXISTING BUILDING TO BE MODIFIED BY
OWNER TO ACCOMMODATE ANY SNOW SHEET
LOADS THAT MAY BE IMPROD UPON IT BY
THE PROPOSED BUILDING.

ROOF FRAMING PLAN
SCALE 1/4"=1'-0"



ATTIC ACCESS FRAMING
SCALE 3/4"=1'-0"

NOTE: WIND BRACE SHALL BE A 2x4 #2 SPF PLACED ON
THE UNDERSIDE OF THE ROOF PURLIN. WIND BRACE SHALL
BE SECURED W/ (4) 3/4" THREADED HARDENED STEEL NAILS
AT EACH END AND W/ (1) 1/2" THREADED HARDENED
STEEL NAIL AT EACH BRACE TO PURLIN LOCATION.
(BLOCK AS NEEDED TO PREVENT SPLITTING.)

NOTE: LATERAL BRACING IS REQUIRED. SEE TRUSS
SPECIFICATION SHEETS FOR LATERAL BRACE LOCATIONS.

NOTE: ROOF PURLINS SHALL BE 2x4 #2 SPF. THE FIRST (10) ROWS
OF PURLINS AFTER THE PEAK PURLIN SHALL BE AT 12' O.C. WITH
THE BALANCE AT 20' O.C. ROOF PURLINS ARE TO BE SECURED TO
THE TRUSS W/ (1) 80# THREADED HARDENED STEEL NAILS AT
EACH PURLIN TO TRUSS LOCATION. FOR PURLIN OVERLAP SEE
DETAIL E/2.



PROJECT TITLE:
FETTS CITY
CARTER LAKE, IA

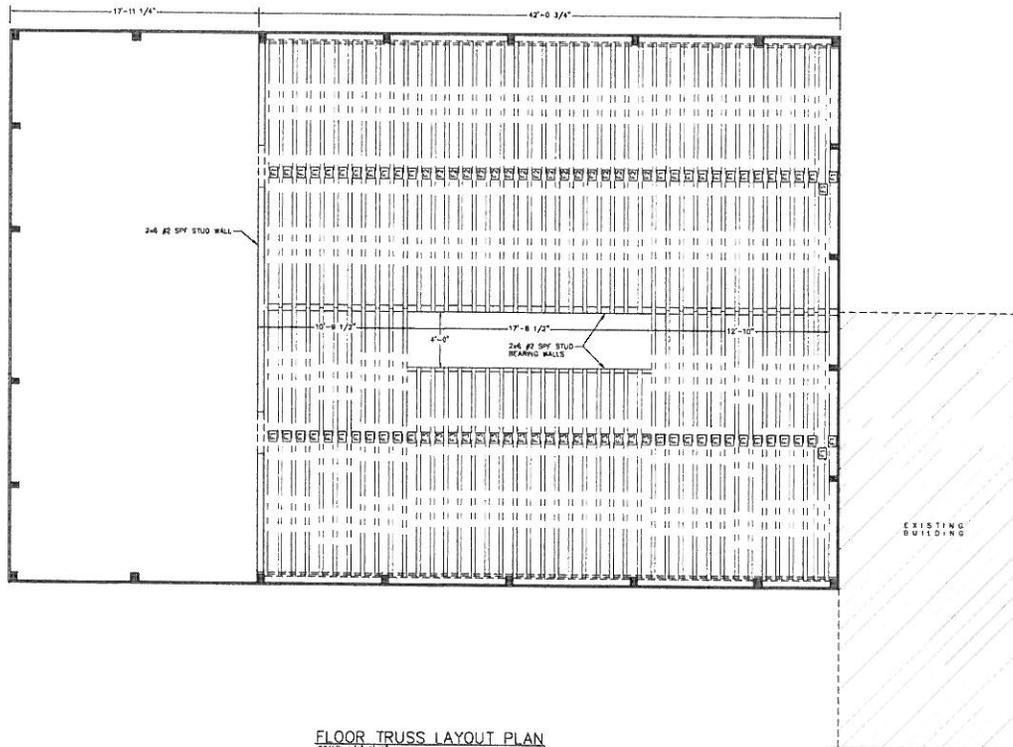
SHEET TITLE:
ROOF FRAMING PLAN

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

PROFESSIONAL ENGINEER: **JEFF MURRAY**
PLAN DESIGNER: **LOUISE EWALD**
DRAWN BY: **LANCE NIELSEN**

FILE NAME: **C29613IA05**
DATE: **10-22-13**
SCALE: **AS NOTED**

SHEET NO.
S5



FLOOR TRUSS LAYOUT PLAN
SCALE: 1/4"=1'-0"

FLOOR TRUSS SCHEDULE				
LOCATION	FLOOR TRUSS DESCRIPTION	LOADING	SPACING	QUANTITY
F1	18-23-20 FLOOR TRUSS	200-10-50	12' O.C.	50
F2	18-23-22 FLOOR TRUSS	200-10-50	12' O.C.	17
F3	18-23-24 FLOOR TRUSS	200-10-50	12' O.C.	17

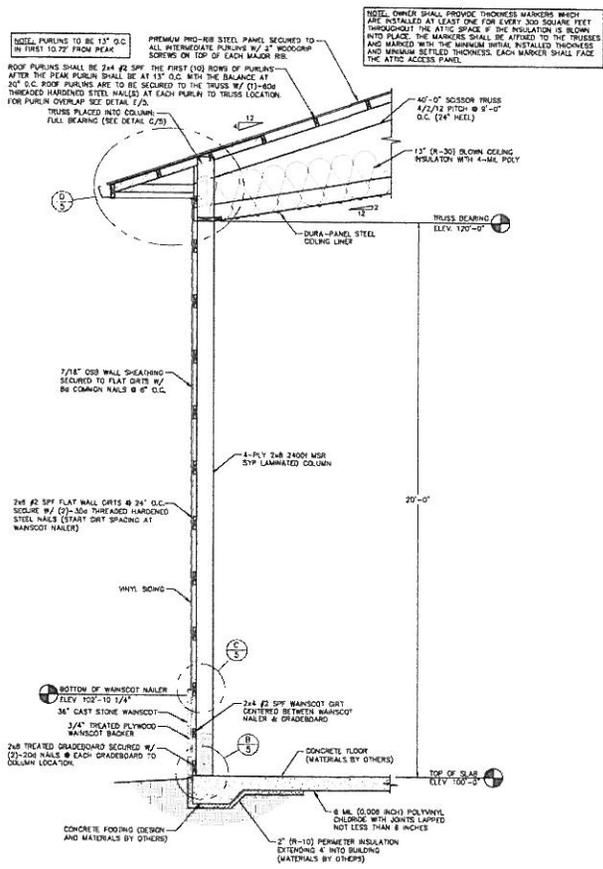


PROJECT TITLE:
FETTS CITY
CARTER LAKE, IA

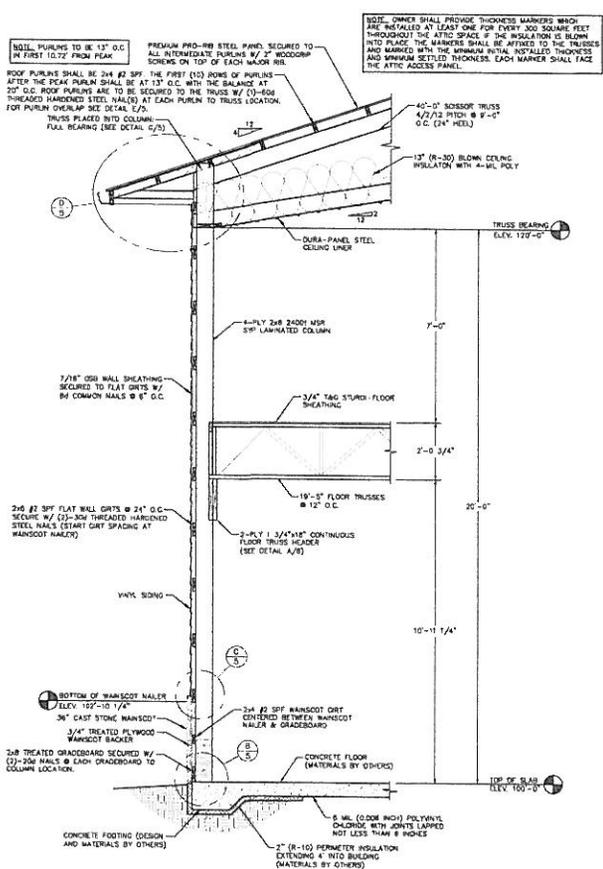
SHEET TITLE:
FLOOR TRUSS LAYOUT PLAN

REVISIONS			PROFESSIONAL ENGINEER	FILE NAME	SHEET NO.
NO.	DATE	DESCRIPTION	BY		
1			JEFF MURRAY	C296131A06	
2			PLAN DESIGNER	DATE	
			LOUISE EWALD	10-22-13	
3			DRAWN BY	SCALE	
			LANCE NIELSEN	AS NOTED	
4					

S6



A SIDEWALL SECTION
SCALE: 1/2"=1'-0"



B SIDEWALL SECTION
SCALE: 1/2"=1'-0"



PROJECT TITLE:
FETTS CITY
CARTER LAKE, IA

SHEET TITLE:
SIDEWALL SECTION & SECTION DETAILS

REVISIONS			PROFESSIONAL ENGINEER	FILE NAME	SHEET NO.
NO.	DATE	DESCRIPTION	JEFF MURRAY	C296131A07	S7
1			PLAN DESIGNER	DATE	
2			LOUISE EWALD	10-22-19	
3			DRAWN BY	SCALE	
4			LANCE NIELSEN	AS NOTED	

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7544 21 153 007
 --- Permanent Property Address --- ----- Mailing Address -----
 FETTS PROPERTY-INVESTMENT INC FETTS PROPERTY-INVESTMENT INC
 1103 E LOCUST ST 3711 N 13TH ST
 CARTER LAKE, IA CARTER LAKE, IA 51510

District: 005

=====
 REAL ESTATE TAX =====
 Click [here](#) for treasurer real estate tax information.

=====
 LEGAL DESCRIPTION =====
 CARTER LAKE-AUD SUB 21-75-44 LT 13 LTS D & E, J & K

=====
 ASSESSED VALUE =====
 land: \$97520 dwelling: \$0 building: \$252480 total: \$350000 year/class: 2012/C
 land: \$97520 dwelling: \$0 building: \$252480 total: \$350000 year/class: 2013/C

=====
 OWNERS =====
 1 D FETTS PROPERTY-INVESTMENT INC book/page: [2009/1566](#) D
 EXEMPTIONS & CREDITS =====

=====
 ASSESSMENT DATA =====
 PDF: 9 MAP: CARTER LAKE COMM-9

Sale Date	Amount	Code	Book/Page	
12/19/2008	0	D001	2009/01566	multiple parcel sale
12/18/2008	300000	D022	2009/01567	multiple parcel sale
06/08/2007	0	D050	2007/09303	multiple parcel sale
07/29/2003	300000	C020	104/02426	multiple parcel sale
12/30/1981	0	D019	COT 81/5363	
11/30/1958	0	D049	1223/00284	multiple parcel sale

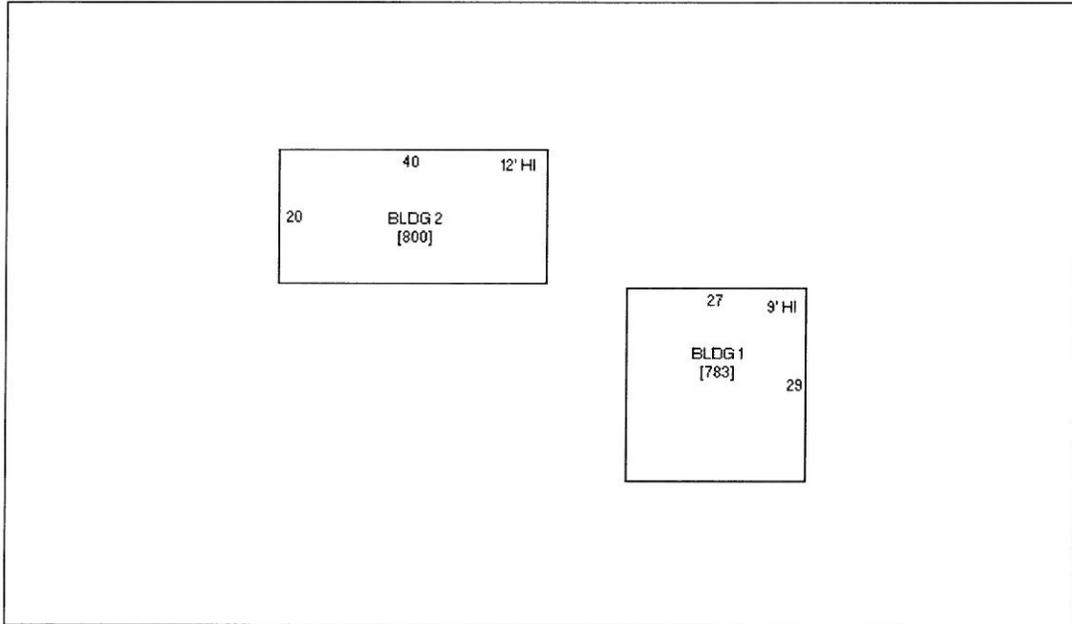
Interior Listing: Inspected Date Listed: 01/25/2005 PR Date Reviewed: 03/15/2012 JC

LAND.....135700 sqFt 3.12 acres
 Lot 1: Frontage Rear Side-1 Side-2 Rear-Lot
 230 230 590 590

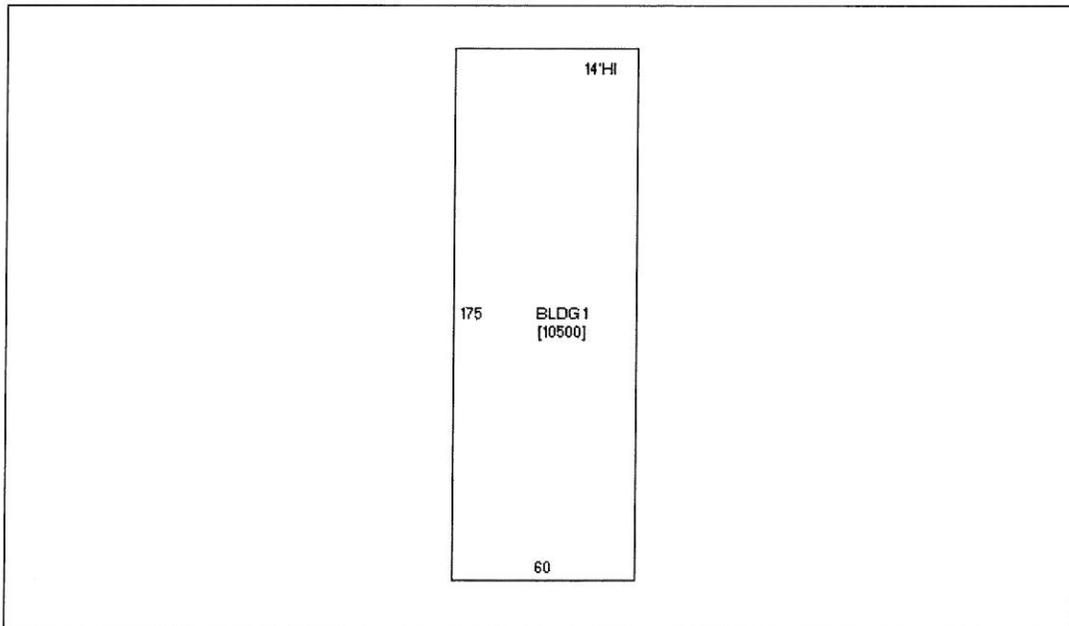
Commercial Building 1 of 2 -- Metal Warehouse - Steel Frame (601)
 DBA: CITY MOTOR CENTER
 STRUCTURE....1 story 10500 base SF 0 bsmt SF 10500 gross SF
 Year Built: 1998 Eff Year: 1998 Condition: Normal
 VERTICALS....Foundation: Reinforced Concrete
 Ext Wall: Metal/ Steel (51'-79' Wide)
 Int Wall: Unfinished
 HORIZONTALS..Roof: Mtl/ Stl/ Insul.
 Struc Floor: R'Concrete
 Framing: Steel - Average
 HVAC: Hot Water Radiant
 Lighting: Warehouse
 BLDG EXTRAS..1 Door: O.H. Door - Manual, 14 Ft Wide, 14 Ft High
 1 Door: O.H. Door - Manual, 10 Ft Wide, 12 Ft High
 1 Door: O.H. Door - Manual, 10 Ft Wide, 10 Ft High

Commercial Building 2 of 2 -- Manufacturing (Light) (711)
 DBA: CITY MOTOR CENTER
 STRUCTURE....1 story 800 base SF 0 bsmt SF 800 gross SF
 Year Built: 1960 Eff Year: 1960 Condition: Observed
 VERTICALS....Foundation: C'Blk or Tile
 Reinforced Concrete
 Ext Wall: C'Blk or Tile - 8"
 Int Wall: Unfinished
 Front/Doors: Incl. w / Base
 Windows: Incl. w / Base
 HORIZONTALS..Basement: Incl. w / Base
 Roof: 4-Ply Compo/ Wood Deck
 Ceiling: Unfinished
 Struc Floor: Incl. w/ Base
 Partitions: Incl. w / Base
 Framing: Wood - Light
 HVAC: No HVAC
 Lighting: No Electric
 ADJUSTMENTS..Heat - none (800)

Plumbing - none (800)
Electric - none (800)
BLDG EXTRAS..1 DOOR: O.H. Door - Manual, 9 Ft Wide, 12 Ft High
YARD EXTRAS..Paving 1,800 SF, Concrete Parking, Average Pricing, Lighting: No
WOOD FENCE Quantity=270 Lineal Feet, Height=6
PAVING 2,000 SF, Concrete Parking, Average Pricing, Lighting: No
WOOD FENCE Quantity=276 Lineal Feet, Height=6
METAL FENCE Quantity=230 Lineal Feet, Height=8
FENCING - CHAIN No Barbs, 6 Ft-Hgh, 230 LF, 0 LF-Gates



1103 E LOCUST ST, FETTS PROPERTY-INVESTMENT INC, 9-2 03/12/2012



1103 E LOCUST ST, FETTS PROPERTY-INVESTMENT INC, 9-1 11/24/2010



1103 E LOCUST ST, FETTS PROPERTY-INVESTMENT INC, 2 01/24/2012



1103 E LOCUST ST, FETTS PROPERTY-INVESTMENT INC, 1 01/25/2005

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600ft x 600ft

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