

ORDINANCE NO. 1013

AN ORDINANCE TO AMEND THE UNIFIED LAND DEVELOPMENT
ORDINANCE OF THE CITY OF CARTER LAKE BY ADDING A NEW SUBSECTION TO
SECTION 2404 AND ADDING A NEW SECTION 2406A ENTITLED "FRONT PORCH
ADDITIONS"

BE IT ENACTED by the City Council of the City of Carter Lake, Iowa, that:

SECTION 1. Section 2404 of the Unified Land Development Ordinance of the City of Carter Lake is amended by adding the following subsection:

9. Front Porch Additions, as defined at Section 2406A herein, shall be subject to all site development regulations of the applicable zoning district, except as provided below:
- (a) Front Yards: The front porch addition, including the roof overhang, may project no more than eight feet into a required front yard. Any such front porch addition, however, shall not be permitted to extend into the applicable setback more than twenty percent (20%), i.e. if the setback is 10 (ten) feet, then the porch shall not extend more than two (two) feet into the setback.
 - (b) Right of Way: No part of a front porch addition shall extend into or onto a right of way.
 - (c) A front porch addition extending into a required front yard shall not be considered as the main portion of the house for purposes of calculating set back and required yard requirements for an owner rebuilding a damaged or destroyed house.

SECTION 2. The Unified Land Development Ordinance of the City of Carter Lake is amended by adding the following new section:

2406A Front Porch Additions

Permitted front porch additions shall be roofed, unenclosed porches projecting from the front exterior wall of a building, added to the building at a time subsequent to the main building's construction, and complying with the following requirements in addition to all other requirements of the City Code:

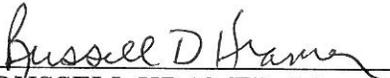
1. The floor of said structure must be comprised of wood, cement slab, or brick pavers.
2. The roof of the porch must be a continuous extension from the building and must be covered in the same material as the roof of the main building. The roof of the porch must be framed as a hip or a gable.
3. The ceiling height of the porch may not exceed the height of the existing eaves of the main building.
4. The front porch addition shall be built subject to the same architectural standards as the main building to which it is attached.
5. The length of a permitted front porch addition shall not exceed the length of the front of the building to which it is attached.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of the ordinance are hereby repealed.

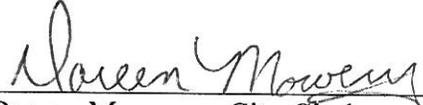
SECTION 4. Severability Clause. If any of the provisions of this Ordinance are for any reason declared illegal or void, the lawful provisions of this Ordinance which are severable from said unlawful provisions shall remain in full force and effect.

SECTION 5. Effective Date. This Ordinance shall be in full force and effect from and after its final passage and publication.

PASSED AND APPROVED JANUARY 18, 2010.


RUSSELL KRAMER, Mayor

Attest:

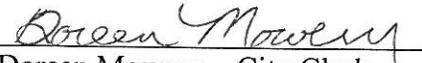

Doreen Mowery – City Clerk

FIRST CONSIDERATION: November 16, 2009

SECOND CONSIDERATION: December 21, 2009

THIRD CONSIDERATION: January 18, 2010

The undersigned as City Clerk of Carter Lake, Iowa does hereby certify that on May 14, 2010, I posted true and exact copies of the foregoing ordinance in four public places to wit: City Hall, Carter Lake Hardware, Peoples National Bank and Owen Memorial Library all within the limits of the City of Carter Lake, Iowa.


Doreen Mowery – City Clerk